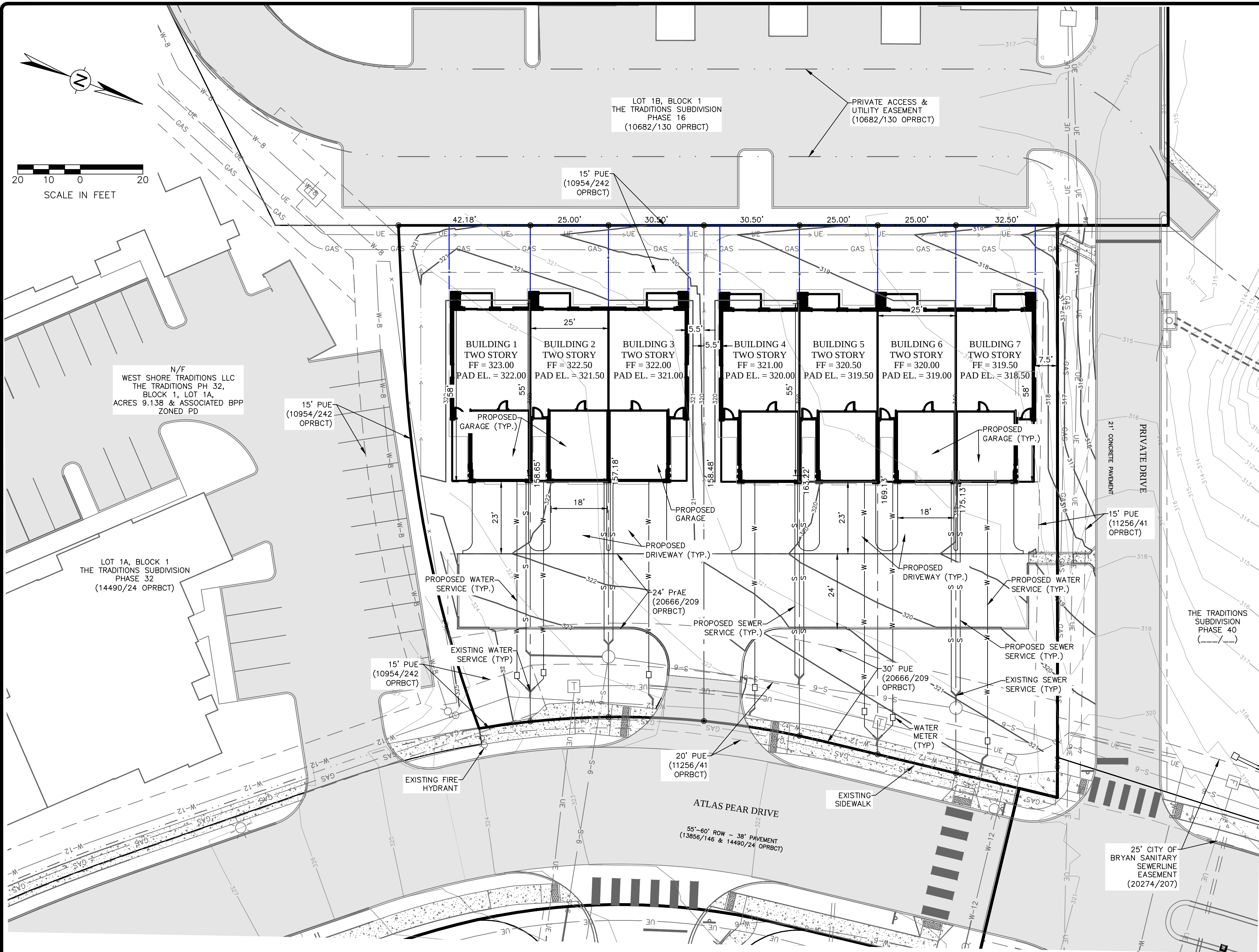




PARKING ANALYSIS

REQUIRED PARKING

7 - 3 BED UNITS

1 SPACE PER BEDROOM

21 PARKING SPACES REQUIRED

PROPOSED PARKING

14 DRIVEWAY SPACES

14 GARAGE SPACES

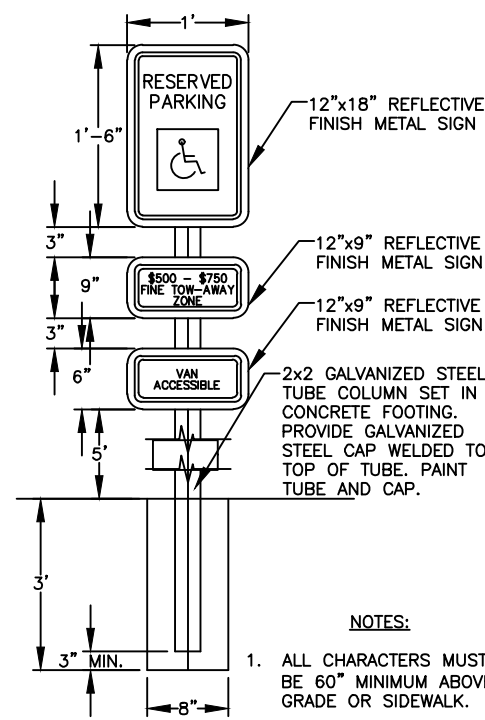
28 TOTAL PARKING SPACES

SITE SPECIFIC NOTES:

1. THE OWNER OF THE PROPERTY IS MASTERTOUCH BUILDERS, LLC. THE SUBJECT PROPERTY IS TRADITIONS SUBDIVISION, LOT 4, BLOCK 26. PROPERTY IS ZONED PLANNED DEVELOPMENT DISTRICT (PD).
2. THE TOTAL DISTURBED AREA FOR THIS PROJECT IS 6.104 ACRES (265,891 SF).
3. THE SUBJECT TRACT DOES NOT LIE WITHIN THE 100 YEAR FLOODPLAIN ACCORDING TO FEMA FLOOD INSURANCE RATE MAPS FOR BRAZOS COUNTY, TEXAS AND INCORPORATED AREAS. COMMUNITY NO. 480082, PANEL NO. 0285E, MAP NO. 48041C, EFFECTIVE DATE: 5/16/2012.
4. PARKING LOT STRIPING OTHER THAN FIRE LANE STRIPING SHALL CONFORM TO TEXAS DEPARTMENT OF TRANSPORTATION (TxDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS, AND BRIDGES: ITEM 666, TYPE 2 MARKING MATERIALS.
5. THE FIRE SUPPRESSION LINE SHALL HAVE A LOCKABLE LID ON THE ISOLATION VALVE. THE LOCKAGE LID SHALL SUPPLY THE SAME PROTECTION AS THE AMP OR USA LL562 LOCKING LID. IF MINIMAL AN ALTERNATING LOCKAGE LID SHALL BE APPROVED BY THE FIRE MARSHALL, OR HIS DESIGNEE.
6. CONTOURS SHOWN ARE FROM FIELD SURVEY DATA.
7. THE OWNERSHIP AND MAINTENANCE RESPONSIBILITIES OF THE PRIVATE ACCESS AND UTILITY EASEMENT WILL BE BY THE LOT OWNER OR PROPERTY OWNER ASSOCIATION.
8. ALL STORM SEWER IS PRIVATE. STORM SEWER COVERS SHALL BE LABELED PRIVATE AND SHALL NOT USE THE CITY OF BRYAN LOGO ON COVERS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTAINMENT AND PROPER DISPOSAL OF ALL LIQUID AND SOLID WASTE ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT THE OCCURRENCE OF WIND BLOWN LITTER FROM THE PROJECT SITE.
10. THE CONTRACTOR IS REQUIRED TO PROVIDE CONTAINMENT FOR WASTE, PRIOR TO AND DURING, DEMOLITION AND CONSTRUCTION. SOLID WASTE ROLL-OFF BINS/METAL DUMPSTERS SHALL BE SUPPLIED BY THE CITY OR CITY PERMITTED CONTRACTOR(S) ONLY.
11. NORMAL DOMESTIC WASTEWATER IS ANTICIPATED TO BE DISCHARGED FROM THIS DEVELOPMENT.
12. ALL BACKFLOW DEVICES MUST BE INSTALLED AND TESTED UPON INSTALLATION AS PER CITY ORDINANCE.
13. THE IRRIGATION SYSTEM MUST BE PROTECTED BY EITHER AN ATMOSPHERIC OR A PRESSURE VACUUM BREAKER OR REDUCED PRESSURE PRINCIPLE BACK FLOW DEVICE AND INSTALLED AS PER CITY ORDINANCE.
14. 8" CONCRETE PAVEMENT TO BE PROVIDED FOR DUMPSTER LOCATIONS PER CITY OF BRYAN SPECIFICATIONS. DUMPSTER CONTAINMENT AREAS SHALL BE REINFORCED WITH #6 BARS AT 12" O.C.W. AND THE PAD SHALL EXTEND AN ADDITIONAL 10' IN FRONT OF CONTAINMENT AREA.
15. FIRE SPRINKLER SYSTEM - POTABLE WATER SUPPLY MUST BE PROTECTED BY A TESTABLE DOUBLE CHECK VALVE ASSEMBLY, AND INSTALL AS PER CITY ORDINANCE.
16. ALL DEVICES, APPURTENANCES, APPLIANCES AND APPARATUS INTENDED TO SERVE SOME SPECIAL FUNCTION AND THAT CONNECTS TO THE WATER SUPPLY SYSTEM, SHALL BE PROVIDED WITH PROTECTION AGAINST BACKFLOW AND CONTAMINATION OF THE WATER SUPPLY.
17. FIRE HYDRANTS SHALL BE INSTALLED TO CORRECT HEIGHT. NO EXTENSIONS ALLOWED.
18. FIRE HYDRANTS SHALL HAVE STORZ QUARTER TURN PUMPER CONNECTION STORZ ADAPTERS ARE NOT ALLOWED.

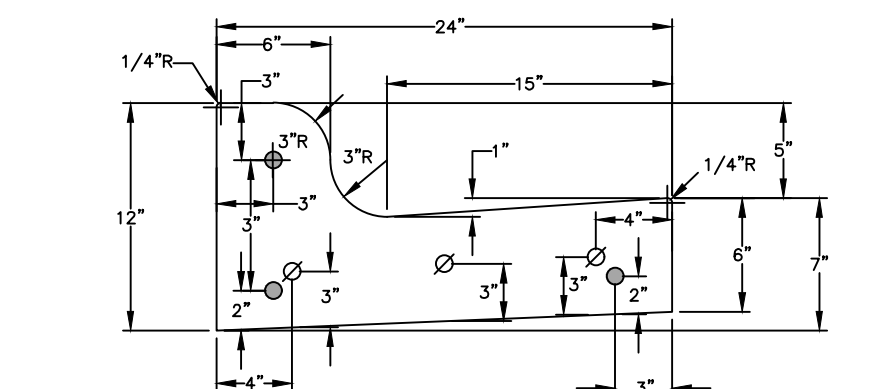
LEGEND

- PROPOSED CONTOUR
- EXISTING CONTOUR
- PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- RIGHT OF WAY (ROW)
- LOT LINE
- EXISTING PUBLIC UTILITY EASEMENT (PUE)
- EXISTING PUBLIC ACCESS EASEMENT (PAE)
- EXISTING PRIVATE ACCESS EASEMENT (PIAE)
- EXISTING PUBLIC DRAINAGE EASEMENT (PDE)
- EXISTING PRIVATE DRAINAGE EASEMENT (PIDE)
- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER
- FLOW ARROWS
- ST ST ST EXISTING STORM PIPE
- W W EXISTING WATER SERVICE, SIZE NOTED
- S S EXISTING WATER LINE, SIZE NOTED
- S-B EXISTING SANITARY SEWER LINE, SIZE NOTED
- GAS EXISTING GAS LINE, SIZE NOTED
- UE UE EXISTING UNDERGROUND ELECTRIC LINE
- AE AE EXISTING OVERHEAD ELECTRIC LINE



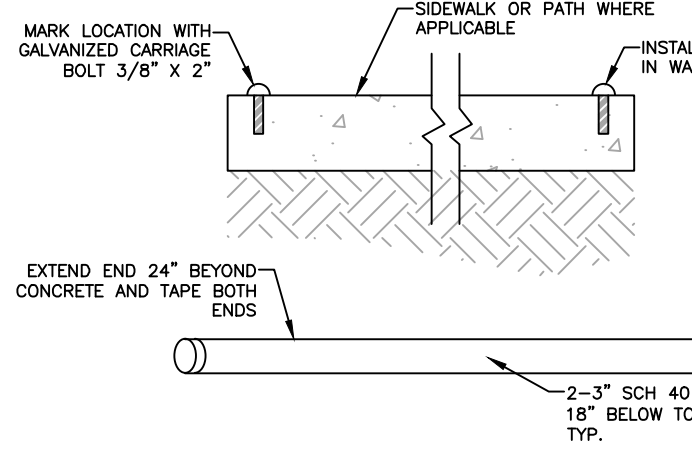
ADA SIGN DETAIL

N.T.S.



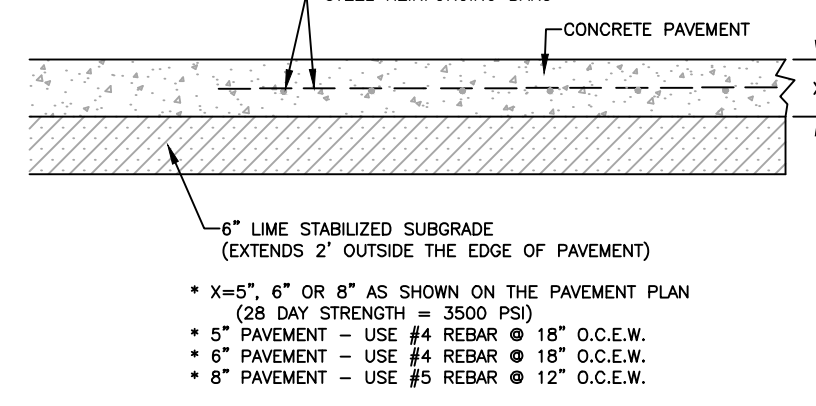
COMBINED CURB AND GUTTER SECTION DETAIL - TYPICAL

N.T.S.



PVC SLEEVE DETAIL

N.T.S.



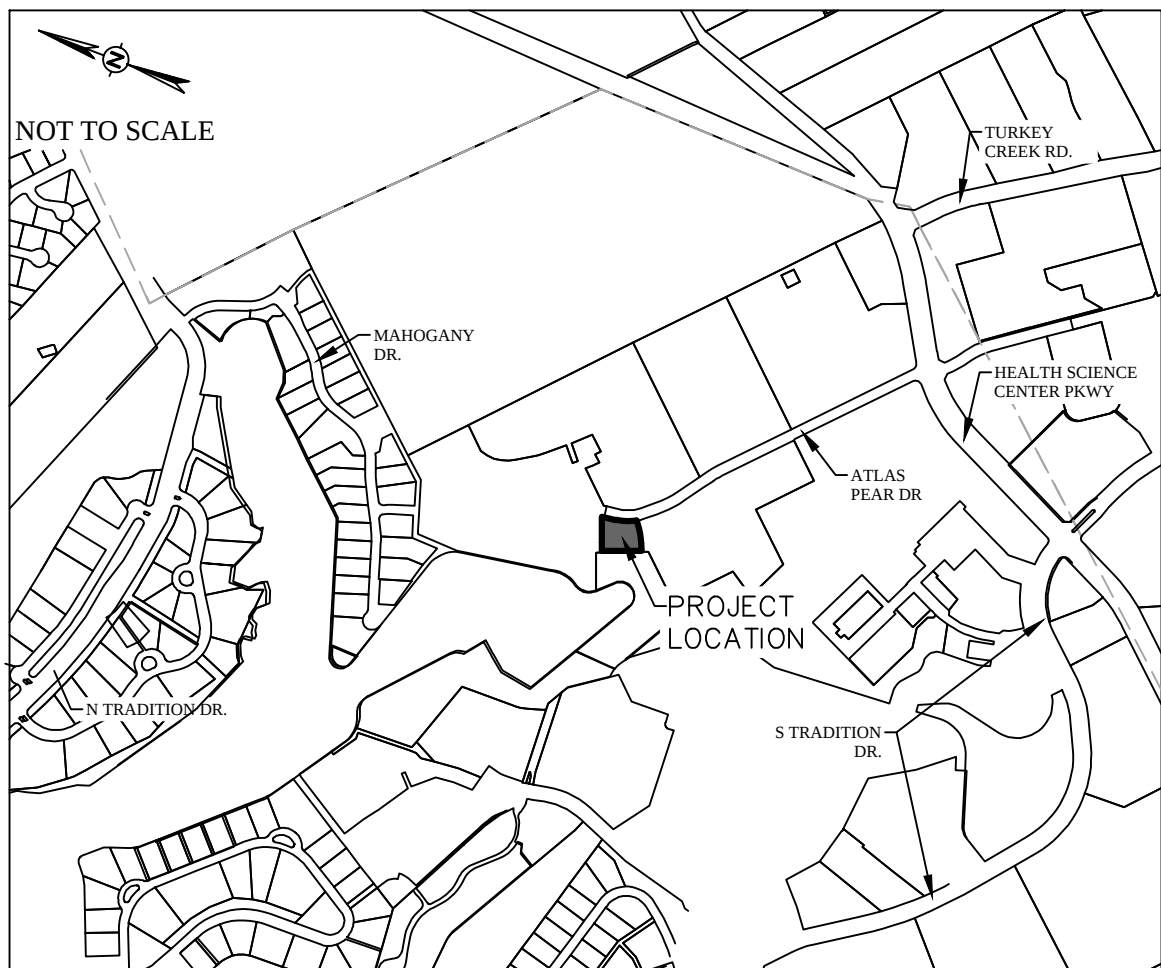
CONCRETE PAVING SECTION DETAIL - TYPICAL

N.T.S.

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST CITY OF BRYAN/COLLEGE STATION STANDARD SPECIFICATIONS AND DETAILS FOR (WATER, SEWER, STREETS, DRAINAGE). ALL CONSTRUCTION SHALL BE COORDINATED WITH THE CITY ENGINEER'S OFFICE.
2. ALL UTILITY LINES (WATER, GAS, SANITARY SEWER, STORM SEWER, ETC.) SHOWN ARE TAKEN FROM BEST AVAILABLE RECORD INFORMATION BASED ON CONSTRUCTION UTILITY MAP DOCUMENTS OBTAINED FROM CITY & INDEPENDENT AGENCIES AND/OR ABOVE GROUND FIELD EVIDENCE. SHOWN POSITIONS MAY NOT REPRESENT AS-BUILT CONDITIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL EXISTING UNDERGROUND UTILITIES. NOTIFICATION OF THE UTILITY COMPANIES 48 HOURS IN ADVANCE OF CONSTRUCTION IS REQUIRED.
DUE TO: (800) 344-8377
ATMOS ENERGY: (979) 774-2506
SUDDEN LINK COMMUNICATIONS: (979) 695-2459
FRONTIER COMMUNICATIONS: (979) 821-4783
WATER/SEWER CITY OF BRYAN: (979) 209-5900
BTU: (979) 821-5700
CITY OF BRYAN: (979) 209-5900
4. THE CONTRACTOR SHALL SETUP A PRE-CONSTRUCTION MEETING WITH BTU PRIOR TO THE START OF ELECTRICAL INFRASTRUCTURE CONSTRUCTION.
5. THE CONSTRUCTION SHALL COMPLY WITH OSHA STANDARD 29 CFR PART 1926 SUBPART P FOR TRENCH SAFETY REQUIREMENTS.
6. BUILDING SETBACK SHALL BE IN ACCORDANCE WITH THE CITY OF BRYAN CODE OF ORDINANCES.
7. PROPOSED SIGNS SHALL BE PERMITTED SEPARATELY IN ACCORDANCE WITH THE SIGN ORDINANCE.
8. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO USE WHATEVER MEANS NECESSARY TO MINIMIZE EROSION AND PREVENT SEDIMENT FROM LEAVING THE PROJECT SITE. THIS INCLUDES THE INSTALLATION OF A CONSTRUCTION EXIT AND SALT FENCE AS NECESSARY.
9. THE CONTRACTOR IS REQUIRED TO MAINTAIN THE TPDES GENERAL PERMIT NO. TXR 150000 REQUIREMENTS FOR CONSTRUCTION SITES.
10. ALL AREAS WHERE EXISTING VEGETATION AND GRASS COVER HAVE BEEN DISTURBED BY CONSTRUCTION SHALL BE ADEQUATELY BLOCK SODED OR HYDROSEEDED, AND WATERED UNTIL GROWTH IS ESTABLISHED. IN DEVELOPED AREAS WHERE GRASS IS PRESENT, BLOCK SOD WILL BE REQUIRED. LAWNED AREAS SHALL BE SEEDED OR SODED WITHIN 14 CALENDAR DAYS OF LAST DISTURBANCE.
11. DRAINAGE INFORMATION AND DETAILS WILL BE PROVIDED ON THE DRAINAGE PLAN AND DRAINAGE REPORT.
12. LANDSCAPING AND IRRIGATION DESIGN & ANALYSIS WILL BE PROVIDED ON THE LANDSCAPE & IRRIGATION PLANS. THE IRRIGATION SYSTEM MUST BE APPROVED AND INSTALLED PRIOR TO CERTIFICATE OF OCCUPANCY.
13. ALL RADII AND DISTANCES ARE MEASURED TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
14. ALL PAVEMENT SHALL BE PER TYPICAL PAVEMENT SECTION. REFER TO PAVEMENT PLAN FOR PAVEMENT DEPTHS.
15. DETENTION AND DRAINAGE FACILITIES SHALL BE CONSTRUCTED FIRST.
16. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER OF ANY DISCREPANCIES IN THESE PLANS, DRAWINGS AND SPECIFICATIONS.
17. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH ALL STATE AND FEDERAL REGULATIONS REGARDING CONSTRUCTION ACTIVITIES NEAR ENERGIZED OVERHEAD POWER LINES.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES OR SERVICE LINES THAT ARE CROSSED OR EXPOSED DURING CONSTRUCTION OPERATIONS. WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN, OR DAMAGED, THE CONTRACTOR SHALL REPAIR OR REPLACE THE UTILITIES OR SERVICE LINE WITH THE SAME TYPE OF MATERIAL AND CONSTRUCTION OR BETTER. THIS MATERIAL AND WORK SHALL BE AT THE CONTRACTOR'S OWN EXPENSE.
19. A COPY OF THE APPROVED CONSTRUCTION PLANS MUST BE KEPT ON SITE AT ALL TIMES THROUGHOUT THE ENTIRE CONSTRUCTION OF THE PROJECT. CONTRACTOR SHALL MAINTAIN A SET OF REDLINE DRAWINGS, RECORDING AS-BUILT CONDITIONS DURING CONSTRUCTION.
20. ANY ADJACENT PROPERTY AND RIGHT-OF-WAY DISTURBED DURING CONSTRUCTION WILL BE RETURNED TO THEIR EXISTING CONDITION OR BETTER.
21. THE CONTRACTOR SHALL NOT CREATE A DIRT NUISANCE OR SAFETY HAZARD IN ANY STREET OR DRIVEWAY.
22. ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND ANY DRAINAGE DITCH OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO EXISTING CONDITIONS OR BETTER.
23. THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
24. THE IRRIGATION SYSTEM WILL BE PROTECTED BY EITHER A PRESSURE VACUUM BREAKER, A REDUCED PRESSURE PRINCIPLE BACK FLOW DEVICE, OR A DOUBLE-CHECK BACK FLOW DEVICE, AN INSTALLED AS PER CITY ORDINANCE 2394.
25. ALL BACK FLOW DEVICES WILL BE INSTALLED AND TESTED UPON INSTALLATION.
26. THE CONTRACTOR MAY OBTAIN AN ELECTRONIC COPY OF THESE PLANS FOR CONSTRUCTION PURPOSES. THE ELECTRONIC FILE AND INFORMATION GENERATED, BY SCHULTZ ENGINEERING, LLC (SE), FOR THIS PROJECT IS CONSIDERED BY SE TO BE CONFIDENTIAL. WHEN ISSUED, IT'S USE IS INTENDED SOLELY FOR THE INDIVIDUAL OR ENTITY TO WHICH IT IS ADDRESSED. PERMISSION IS NOT GRANTED TO THE RECIPIENT FOR DISTRIBUTION OF THESE DOCUMENTS IN ANY FORM OR FASHION. THE RECIPIENT UNDERSTANDS THAT THIS DATA IS AUTHORIZED AS IS WITHOUT ANY WARRANTY AS TO IT PERFORMANCE, ACCURACY, FREEDOM FROM ERROR, OR AS TO ANY RESULTS GENERATED THROUGHOUT ITS USE. THE RECIPIENT ALSO UNDERSTANDS AND AGREES THAT SE, UPON RELEASE OF SUCH DATA, IS NO LONGER RESPONSIBLE FOR THEIR USE OR MODIFICATION. THE USER AND RECIPIENT OF THE ELECTRONIC DATA ACCEPTS FULL RESPONSIBILITY AND LIABILITY FOR ANY CONSEQUENCES ARISING OUT OF THEIR USE.
27. WHERE ELECTRIC FACILITIES ARE INSTALLED, BTU HAS THE RIGHT TO INSTALL, OPERATE, RELOCATE, CONSTRUCT, RECONSTRUCT, ADD TO, MAINTAIN, INSPECT, PATROL, ENLARGE, REPAIR, REMOVE, AND REPLACE SAID FACILITIES UPON, OVER, UNDER, AND ACROSS THE PROPERTY, INCLUDED IN THE PUE, AND THE RIGHT OF INGRESS AND EGRESS ON PROPERTY ADJACENT TO THE PUE TO ACCESS ELECTRICAL FACILITIES.
28. BEFORE ENCLOSURE CONSTRUCTION/MODIFICATION BEGINS CONTACT SOLID WASTE, AT (979) 209-5900 FOR AN ON-SITE REVIEW.
29. IF ANY CHANGES ARE MADE TO THE ENCLOSURE PLAN DURING THE CONSTRUCTION PHASE, PLEASE CONTACT SOLID WASTE TO REVIEW MODIFICATIONS.
30. ALL-WEATHER ACCESS ROUTE MUST BE MAINTAINED AND REPAIRED AT THE BUSINESS OWNER'S EXPENSE.

VICINITY MAP



TOWNHOUSE SITE PLAN
7930-7954 ATLAS PEAR DRIVE

TOTAL DISTURBED AREA = 0.778 ACRES
TRADITIONS SUBDIVISION PHASE 38

LOTS 1-7, BLOCK 1
TOTAL AREA = 0.766 ACRES
VOL. 20666, PG. 209
JOHN H. JONES LEAGUE SURVEY, A - 26
BRYAN, BRAZOS COUNTY, TEXAS

SCALE: 1"=40'

AUGUST 2026

OWNER:
MASTERTOUCH BUILDERS, LLC
3131 CLUB DR.
BRYAN, TX 77807

SURVEYOR:
KERR SURVEYING, LLC
1718 BRIARCREST DR.
BRYAN, TX 77803
(979) 268-3195

DEVELOPER:
BT RESIDENTIAL, LP
3131 CLUB DR.
BRYAN, TX 77807

ENGINEER:
SCHULTZ ENGINEERING, LLC.
PO BOX 11895
COLLEGE STATION, TX 77842
(979)764-3900

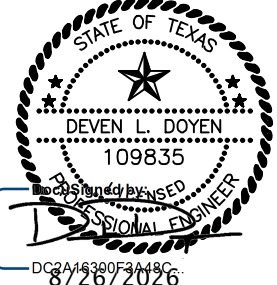


911 Southwest Pkwy E.
College Station, Texas 77840
979-764-3900
TBPE FIRM NO. 12327

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PURPOSES.

THE SEAL APPEARING ON THIS
DOCUMENT WAS AUTHORIZED BY
DEVEN L. DOYEN, P.E.,
LICENSE NO. 109835
AUGUST 26, 2026

ISSUED FOR REVIEW



TRADITIONS SUBDIVISION
PHASE 38
BRYAN, TX

SITE PLAN

SCALE

VERTICAL N/A

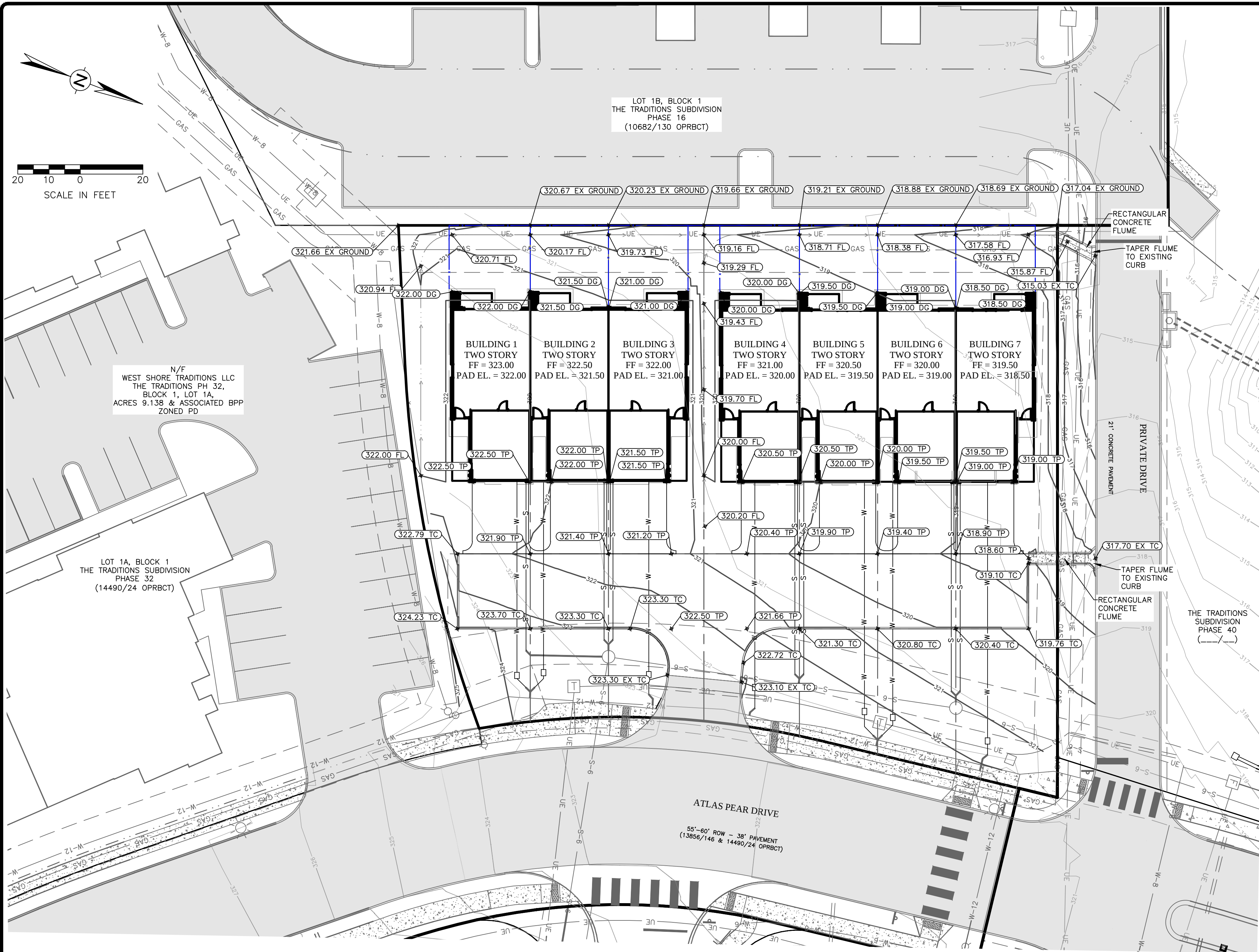
HORIZONTAL 1"=20'

PLOTTING SCALE: 1:1

FILE NAME: 26-469

SHEET

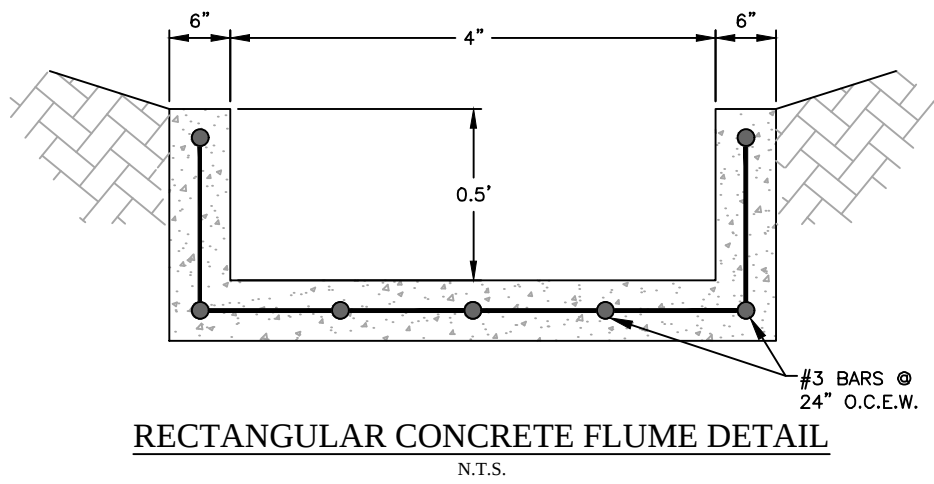
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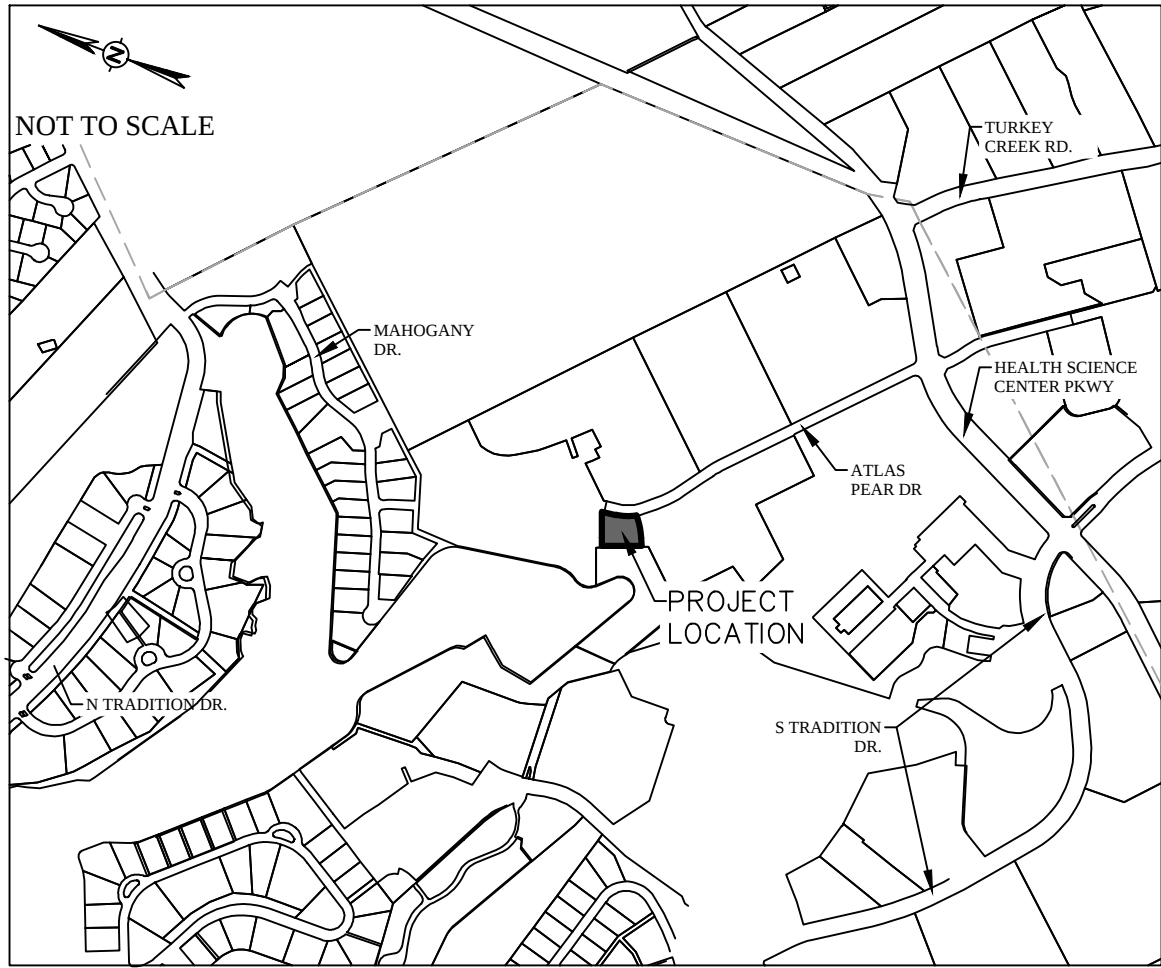
- GRADING CONSTRUCTION NOTES:
1. FILL MATERIAL USED TO ACHIEVE GRADE IN AREAS TO RECEIVE PAVEMENT OR WITHIN THE STREET RIGHT-OF-WAY SHALL BE COMPACTED TO AT LEAST 98% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST, (ASTM D698), AT A MOISTURE CONTENT FROM OPTIMUM MOISTURE CONTENT TO 4% ABOVE THE OPTIMUM MOISTURE CONTENT. AREAS OUTSIDE OF THE STREET RIGHT-OF-WAY SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY.
 2. THE SUBGRADE BENEATH THE CONCRETE SIDEWALKS SHALL BE COMPACTED AND "PROOF-ROLLED". ANY WEAK OR SOFT AREAS IDENTIFIED BY THE "PROOF-ROLLING" SHALL BE REMOVED AND REPLACED.
 3. HANDICAP RAMP SLOPES SHALL NOT EXCEED 1V:12H.
 4. THE TOPOGRAPHY SHOWN IS FROM FIELD SURVEY DATA.
 5. STRUCTURAL BACKFILL FOR UTILITY OR STORM DRAIN TRENCHES IS REQUIRED WHENEVER THE TRENCH IS WITHIN 5' OF PAVEMENT OR SIDEWALK.
 6. THE CONTRACTOR SHALL FOLLOW THE GENERAL INTENT OF THE GRADING PLANS. MINOR ADJUSTMENTS TO THE ACTUAL ELEVATIONS SHOWN ON THE GRADING PLAN MAY BE REQUIRED TO MATCH EXISTING GROUND ELEVATIONS AND STRUCTURES. THE PROPOSED CONTOUR LINES SHOWN ARE APPROXIMATE ONLY. THE DESIGN GRADE SPOT ELEVATIONS SHOULD BE USED FOR CONSTRUCTION OF THE SITE WORK.
 7. COMPACTION OF FILL OR AN ENGINEERED SLAB IS REQUIRED FOR LOTS THAT HAVE GREATER THAN 2 FEET OF FILL.

LEGEND

- PROPERTY BOUNDARY
- RIGHT OF WAY (ROW)
- EXISTING CONTOUR
- PROPOSED CONTOUR
- LOT LINE
- EXISTING PUBLIC UTILITY EASEMENT (PUE)
- EXISTING PUBLIC DRAINAGE EASEMENT (PDE)
- EXISTING PRIVATE DRAINAGE EASEMENT (PDE)
- PROPOSED CURB AND GUTTER
- EXISTING SIDEWALK
- FLOW ARROWS
- EXISTING STORM PIPE
- EXISTING JUNCTION BOX
- EXISTING STORM INLETS
- FL - FLOW LINE
- TC - TOP OF CURB
- TP - TOP OF PAVEMENT



VICINITY MAP



TOWNHOUSE SITE PLAN
7930-7954 ATLAS PEAR DRIVE

TOTAL DISTURBED AREA = 0.778 ACRES
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MARK	REVISION	BY	DATE

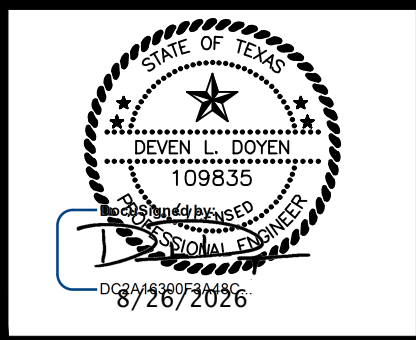
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College Station, Texas 77840
979.764.3900
TBPE FIRM NO. 12327

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THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DEVEN L. DOYEN, P.E., LICENSE NO. 109835 AUGUST 26, 2026

ISSUED FOR REVIEW

SURVEYED	DESIGNED	DRAWN	APPROVED	JOB NO.	DATE
KERR	DLD	DLD	JPS	26-469	AUGUST 2026



TRADITIONS SUBDIVISION
PHASE 38
BRYAN, TX

GRADING PLAN

SCALE
VERTICAL: N/A
HORIZONTAL: 1"=20'
PLOTTING SCALE: 1:1
FILE NAME: 26-469

SHEET
C2